

Architectural Plan Set



INDEX OF SHEETS		
Label	Page	Title
A0.0	1	Project Cover Page
A1.1	2	1st Floor Plan
A1.2	3	2nd Floor Plan
A2.1	4	Roof Plan
A3.1	5	Foundation plan
A4.1	6	Elevations
A4.2	7	Elevations
A5.1	8	Cross Sections
A6.1	9	Details
EO.0	10	Electrical Plan
E1.1	11	1st Floor Electrical Plan
E1.2	12	2nd Floor Electrical Plan
PO.0	13	Plumbing & Drainage Plan
P1.1	14	1st Floor Plumbing & Drainage Plan
P1.2	15	2nd floor Plumbing & Drainage plan

Square Foot Total

Total 1st Floor Area 1,873 Sq.ft.

1st Floor Area 1,247 Sq.ft. Living

Garage Area 461 Sq.ft.

Total Deck Area 165 Sq.ft.

Total 2nd Floor 1,708 Sq.ft.

2nd Floor 1,576 Sq.ft. Living

Deck Area 132 Sq.ft.

Total Living Area 2,823 Sq. Ft.

Total Floors Area 3,581 Sq. ft.

General Notes

No.	Revision/Issue	Date
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Firm Name and Address

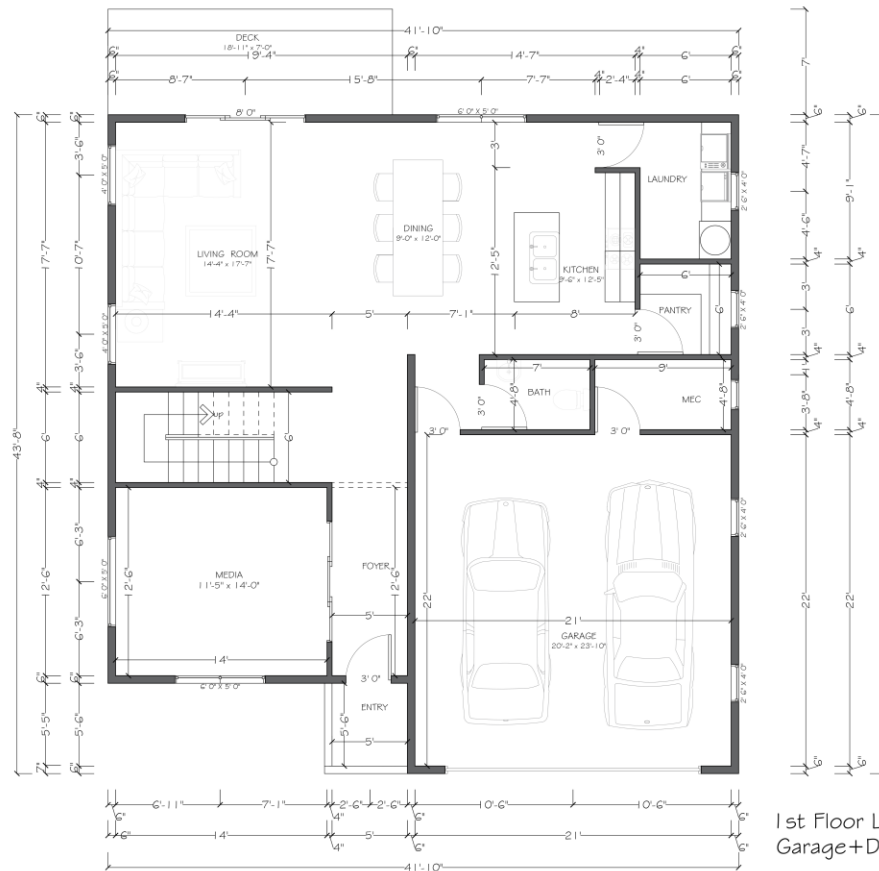
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Project	as stated
Date	01,2020
Scale	as stated

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FIRST FLOOR PLAN

scale $\frac{1}{4}" = 1'-0"$

1st Floor Living Area ~ 1,247 Sq.ft.
Garage+Decks Area ~ 366 Sq.ft.

Total 1st Floors Area ~ 1,873 Sq. ft.

1st Floor ~ 1,247 Sq.ft. Living
2nd Floor ~ 1,708 Sq.ft. Living
Total Living Area ~ 2,823 Sq. Ft.

Total Floors Area ~ 3,581 Sq. ft.

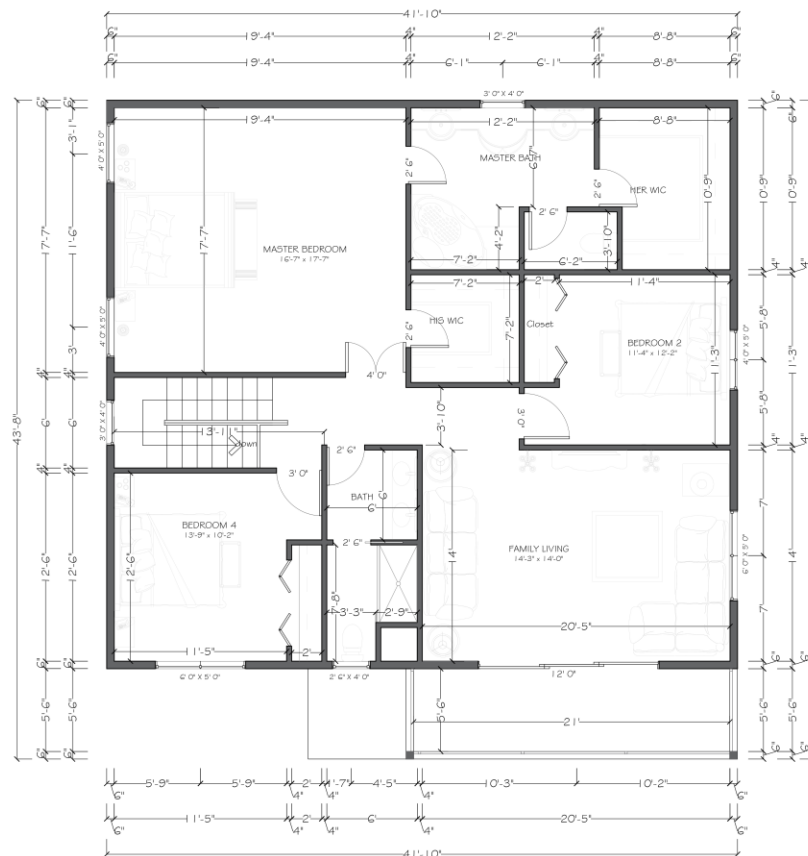
General Notes

Attached plan has be designed to the clients specifications and must meet the current BC Bldg. Codes and local & Municipal Codes.

Construction is to be performed by a qualified contractor. It is the responsibility of the contractor to verify all measurements, sizes, details etc. prior to any construction.

Any Structural design required must be performed by a certified Structural Engineer. Foundation is to be verified by the local Bldg. Dept. authorities or by a structural Engineer.

General Notes		
No.	Revision/Issue	Date
Firm Name and Address		
Project Name and Address		
Portfolio		
Project as stated		Sheet
Date 01.2020		A I . I
Scale as stated		



SECOND FLOOR PLAN

scale: $\frac{1}{4}" = 1'-0"$

General Notes

Attached plan has be designed to the clients specifications and must meet the current BC Bldg. Codes and local & Municipal Codes.

Construction is to be performed by a qualified contractor. It is the responsibility of the contractor to verify all measurements, sizes, details etc. prior to any construction.

Any Structural design required must be performed by a certified Structural Engineer. Foundation is to be verified by the local Bldg. Dept. authorities or by a structural Engineer.

2nd Floor Living Area ~ 1,576 Sq.ft.
Decks Area ~ 132 Sq.ft.

Total 2nd Floors Area ~ 1,708 Sq. ft.

General Notes

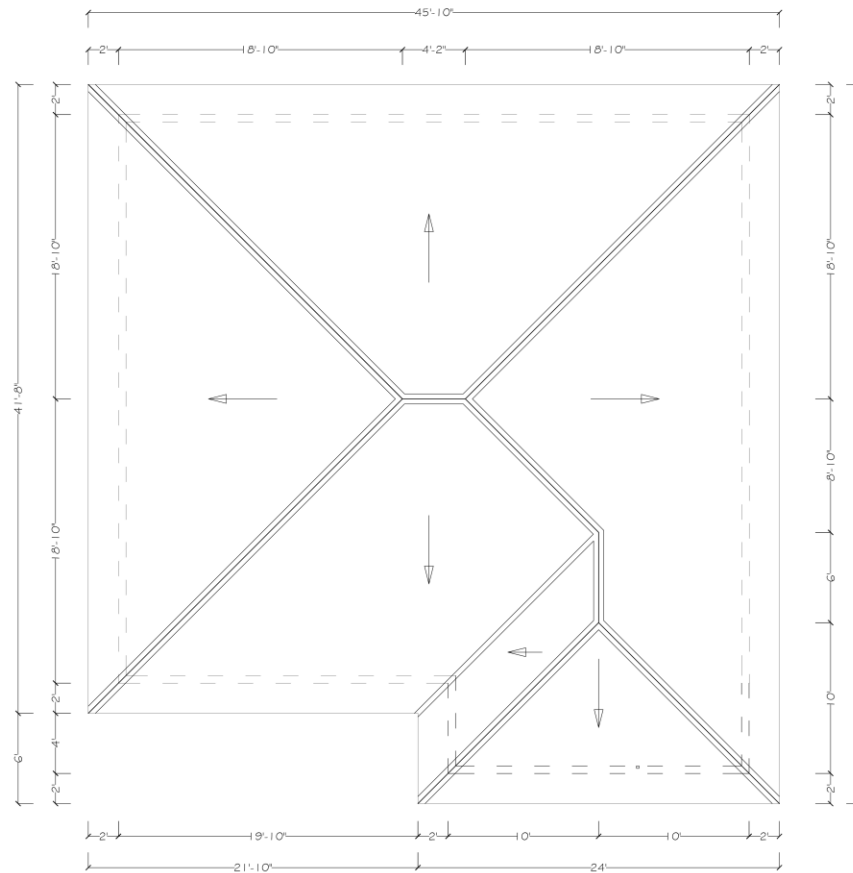
No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

Portfolio

Project as stated	Sheet A 1.2
Date 01,2020	
Scale as stated	



ROOF PLAN

scale: $\frac{1}{4}" = 1'-0"$

Typical Truss Roof
 : 3/12" roofing plywood c/w 'H' clips
 : 2x8 blocking at the peak
 : Pre-eng. trusses @ 24" o.c.
 : 2x4 truss bracing
 : R40 Batt Insulation
 : 6 mil poly v.b.
 : $\frac{5}{8}"$ ceiling board

Note:
 Ventilation roof to 1/300th of insulated ceiling area.

General Notes

No.	Revision/Issue	Date

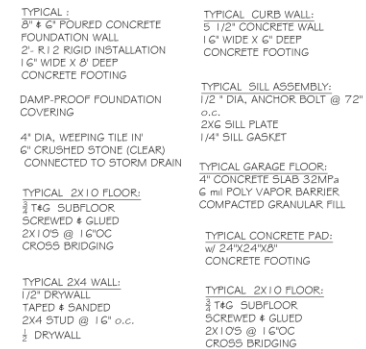
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Project Name and Address

Portfolio

Project	as stated	Sheet
Date	01,2020	A 2.1
Scale	as stated	

1. ALL BEAMS TO PENETRATE A MIN OF 6" INTO UNDISTURBED SOIL.
2. LAPS OR SPLICES TO BE A MIN. OF 24 BAR DIAMETERS.
3. PROVIDE G CORNER BARS IN ALL PERIMETER OR EXTERIOR BEAMS. INSTALL ONE AT TOP OUTSIDE ONE AT BOTTOM OUTSIDE.
4. FOUNDATION DESIGN IS GENERAL AND NOT SPECIFIC FOR PARTICULAR SITE CONDITIONS. THEREFORE, BUILDER SHALL ASSUME RESPONSIBILITY FOR APPLICABILITY OF THIS FOUNDATION DESIGN.
5. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL FIXED EQUIPMENT, ELECTRICAL RECEPTACLES AND JOINTS, PLUMBING LOCATIONS AND THRESHOLD BLACKOUTS.



scale $\frac{1}{4}'' = 1'-0''$

General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

Portfolio

Project	as stated	Sheet A 3.1
Date	01,2020	
Scale	as stated	



FRONT ELEVATION

scale: $\frac{1}{4}" = 1'-0"$



REAR ELEVATION

scale: $\frac{1}{4}" = 1'-0"$

General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

Portfolio

Project	as stated	Sheet
Date	01.2020	A 4.1
Scale	as stated	



SIDE ELEVATION 1

scale: $\frac{1}{4}" = 1'-0"$



SIDE ELEVATION 2

scale: $\frac{1}{4}" = 1'-0"$

General Notes

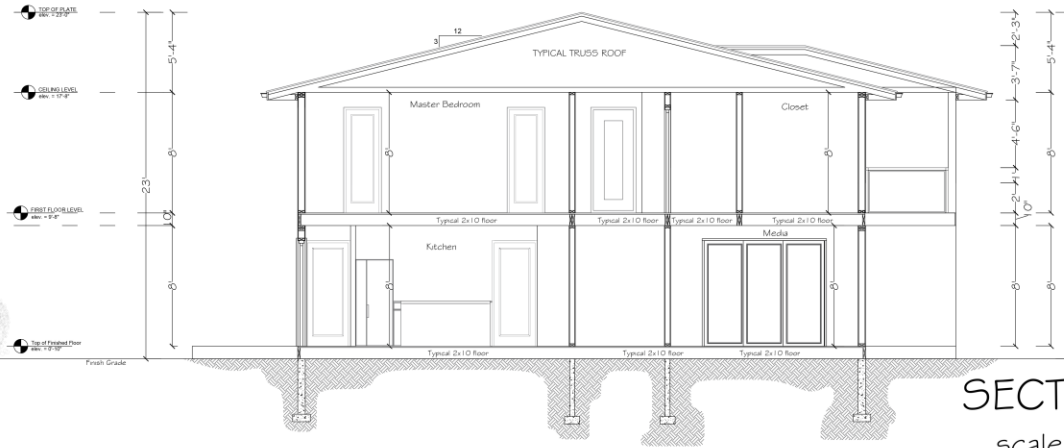
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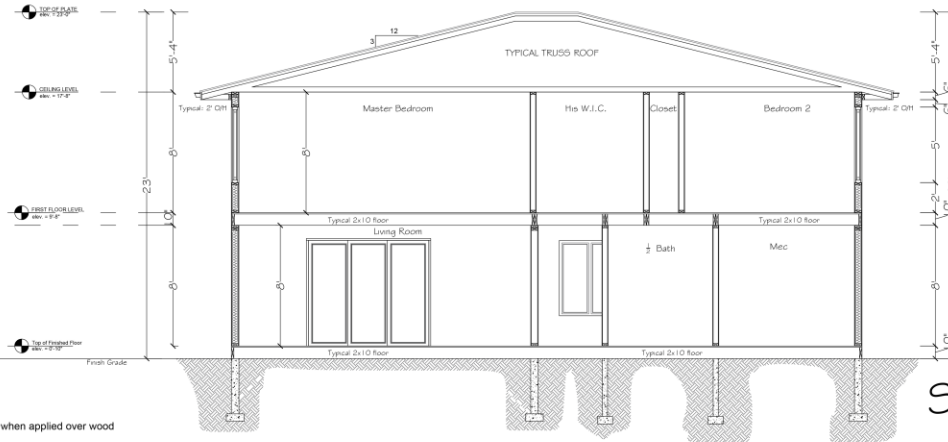
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Date	01, 2020	A 4.2
Scale	as stated	



SECTION B-B
scale: $\frac{1}{4}" = 1'-0"$



SECTION A-A
scale: $\frac{1}{4}" = 1'-0"$

General Note

: Artificial stone must be installed over a 25mm air space when applied over wood frame walls. [max. height 3m]

: French Doors to be safety glass

: Concrete stoop can not be poured against wood framing: Concrete foundation to be corbelled or top hung joist system in stoop area.

: Max. Height of Backfill
Against a 8" thick concrete wall:
7' 6" if laterally supported at top
4'0" if laterally unsupported
structural review by Professional Engineer
If backfill height exceeded or the total height of walls is more than 10'

Exterior Walls - 2 layers of 30 min bldg paper

: Double drains required.
Solid pipe system for roof water
Perforated pipe system for foundation water

: All footing to be placed on solid bearing at a min. 18" below grade

Foundation Walls

- Dampproofing of concrete walls below grade
- Moisture barrier between foundation walls and mud seal
- Perimeter drains required as per municipal Bldg. Codes
- Concrete footings shall be on solid undisturbed firm ground below frost lines.
- Grades on plan are estimates determined by contractor unless indicated by a document provided by a BC surveyor.

- : Exterior doors are to be solid core type weather stripped.
- : Flashing is required [to current codes] at all horizontal changes in exterior openings flashing to be installed to meet current BC Bldg. Codes.
- : Vapor barrier on top of and at the end of the wall & over beams against exterior walls & attic spaces.
- : Bldg heights must be verified to meet municipal requirements.

Window BCBC2012 / Doors / Finishing

All product to be supplied must be verified by suppliers with contractor prior to any manufacturing or ordering

Wood Framing & Construction

- : Beam shall not have less than $3 \frac{1}{2}"$ length of brg. at end support.
- : Load bearing interior & exterior lintels are to be a min. 2-2x10's unless otherwise specified or engineered.
- : Wood column must have a bearing support equal in size.
- : Knocking or drilling of wood framing shall comply with section 9.23.5 of the BC Building Code 2006
- : All wood product to concrete must have dampproofing with an approved sill gasket. Pressure treated wood required anywhere wood contacts concrete.
- : Floor joist may not have less than $1 \frac{1}{2}"$ of brg. support.
- : All structural members beyond Part 9 of the Bldg. Code [ie: Manufactured Roof & Floor Trusses, LVL Beams, supporting hangers must be designed by a professional Engineer.
- : All Electrical & Plumbing is to be done by qualified trades and adhering to current codes and restrictions.
- : Windows, Doors, Siding, Roofing & Flashings are to adhere to current codes.

: Plan has been designed to meet client's requirements and adhere to Engineering Guide for Wood Frame construction (CWC 2004). If in question it is the responsibility of the contractor to verify this with a Structural Engineer and adjust to their required recommendation

Excavation & Foundation

- : Excavation for footing structure shall extend to undisturbed soil. Excavation shall be kept free of standing water.
- : Building grade are to be sloped a min. of 2% away from dwelling and structures.
- : Retaining wall are to be built according to good construction practices and may require a structural engineer.
- : Footing are assumed to be construction on a soil bearing capacity of 2000 p.s.f. or greater.
- : Footing shall be placed on undisturbed soil at an elevation below frost line
- : Footing being stepped the vertical rise between horizontal portions may not exceed 2". Horizontal distances between the risers may not be less than 2'
- : Reinforcing of concrete must be designed by a Structural Engineer.
- : Waterproofing and dampproofing as per Sec.9.13.1.3.(1) BCBC 2006
- : Concrete shall conform to section 9.3.1. of BCBC 2006
- : Concrete shall have a min. compressive strength of 25MPa after 28 days.
- : Concrete used for garages, carports and exterior stairs shall have a min. compressive strength of 32MPa at 28days.

General Notes

No.	Revision/Issue	Date

Firm Name and Address

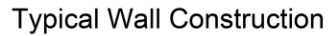
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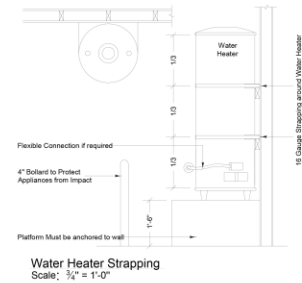
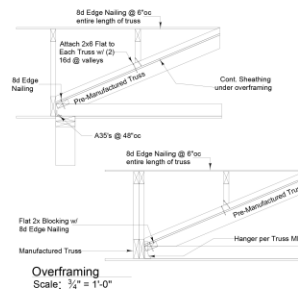
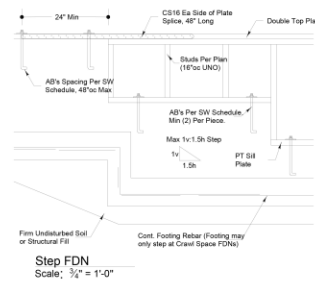
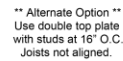
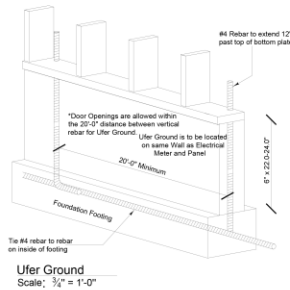
Project	Sheet
as stated	
Date	01,2020
Scale	as stated

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- 1 - 7/16" Roof Sheathing - See Engineering for Nailing Pattern
- 2 - R-38 High Density Batt Insulation & R-49 Blow-In Insulation
- 3 - 15# Asphaltic Roof Paper
- 4 - Pre-Manufactured Trusses @ 24" oc
- 5 - 5/8" GWB Drywall on Ceiling
- 6 - 5/4" Fascia



- 1 - Horizontal Siding on Exterior
- 2 - Tyvek Building Wrap
- 3 - 7/16" OSB
- 4 - 2x6 Studs @ 24 oc
- 5 - R-21 Insulation w/ Vapor Barrier
- 6 - 1/2" GWB on Interior



General Notes		
No.	Revision/Issue	Date
Firm Name and Address		
Portfolio		
Project	as stated	Sheet
Date	01,2020	A 6.1
Scale	as stated	

ELECTRICAL PLANS

General Notes

No.	Revision/Issue	Date

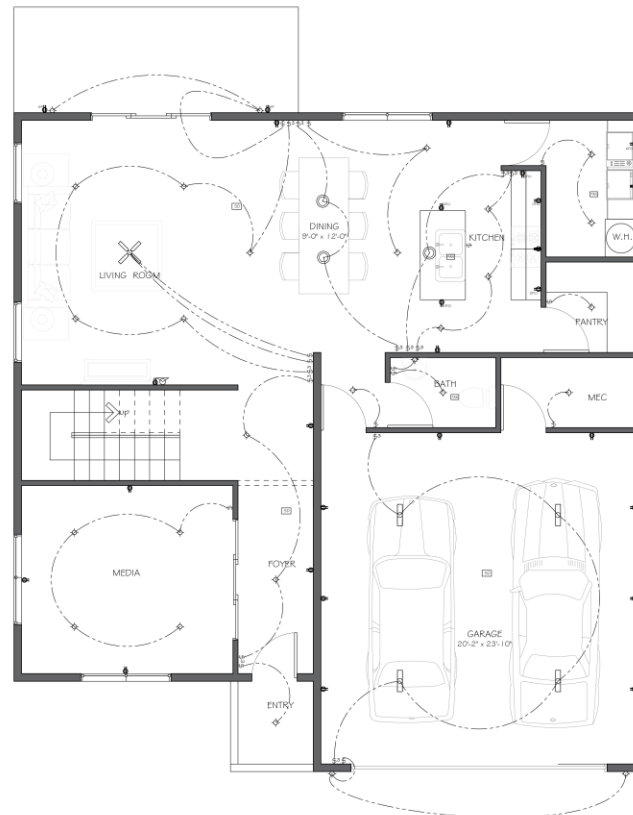
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Project Name and Address

Portfolio

Project	as stated	Sheet
Date	01,2020	E O.O
Scale	as stated	

- 🔌 LIGHT SWITCH
- 🔌 MANUAL-ON OCCUPANT SENSOR
- 🔌 THREE WAY SWITCH
- 🔌 DRIVER / RANGE RECEPTACLE
- 🔌 15 AMP RECEPTACLE
- 🔌 15 AMP WATER PROOF RECEPTACLE
- 🔌 RECEPTACLE WITH GFCI (GROUND FAULT CIRCUIT)
- 🔌 15 AMP RECEPTACLE WITH ARC-FAULT CIRCUIT
- 🔌 WALL MOUNT LIGHT
- 💡 INCANDESCENT LIGHT
- 💡 RECESSED INCANDESCENT LIGHT
- 💡 HIGH EFFICACY FLUORESCENT FIXTURE
- 🌀 CEILING FAN WITH HIGH EFFICACY LIGHT
- 🔌 EXHAUST FAN
- 🔌 SMOKE DETECTOR/CO SENSOR
- 🌐 CABLE INTERNET
- 💡 PENDENT
- 🔌 UNDER CABINET LIGHT



FIRST FLOOR PLAN ELECTRICAL PLAN
scale $\frac{1}{4}" = 1'-0"$

1. ALL FIXINGS SHALL BE DONE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL ELECTRICAL FIXTURES, LINES ETC. ARE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MANUFACTURER INSTRUCTIONS AND BUILDING CODES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL FIXTURES ARE IN LINE WITH THE MANUFACTURER, STATE AND LOCAL BUILDING CODES.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE SITE CONDITIONS PRIOR TO INSTALLATION AND MAKE ADJUSTMENT AS NECESSARY.

General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

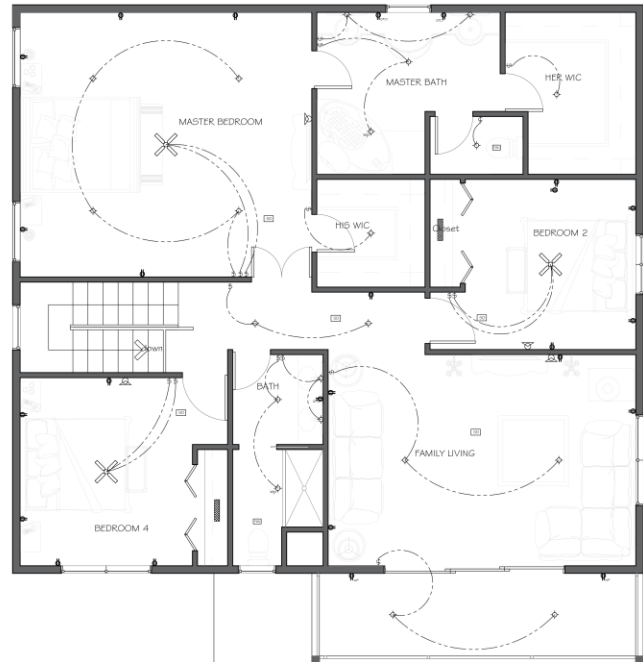
Portfolio

Project	as stated	Sheet E 1.1
Date	01,2020	
Scale	as stated	

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ELECTRICAL SYMBOLS

ⓘ	LIGHT SWITCH
ⓘD	MANUAL-ON OCCUPANT SENSOR
ⓘ3	THREE WAY SWITCH
ⓘR	DRYER / RANGE RECEPTACLE
ⓘ	15 AMP RECEPTACLE
ⓘW	15 AMP WATER PROOF RECEPTACLE
ⓘGFI	RECEPTACLE WITH GFCI (GROUND FAULT CIRCUIT)
ⓘAFCI	15 AMP RECEPTACLE WITH AFCI-FAULT CIRCUIT
ⓘ	WALL MOUNT LIGHT
ⓘ	INCANDESCENT LIGHT
ⓘ	RECESSED INCANDESCENT LIGHT
ⓘ	HIGH EFFICACY FLUORESCENT FIXTURE
ⓘ	CEILING FAN WITH HIGH EFFICACY LIGHT
ⓘ	EXHAUST FAN
ⓘ	SMOKE DETECTOR/CO SENSOR
ⓘ	CABLE INTERNET
ⓘ	PENDENT
ⓘ	UNDER CABINET LIGHT



SECOND FLOOR PLAN ELECTRICAL PLAN
scale 1/4"= 1'-0"

NOTES:

1. ALL FIXINGS SHALL BE DONE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL ELECTRICAL FIXTURES, LINES ETC. ARE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MANUFACTURER INSTRUCTIONS AND BUILDING CODES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL FIXTURES ARE IN LINE WITH THE MANUFACTURER, STATE AND LOCAL BUILDING CODES.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE SITE CONDITIONS PRIOR TO INSTALLATION AND MAKE ADJUSTMENT AS NECESSARY.

General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

Portfolio

Project as stated	Sheet E 1.2
Date 01,2020	
Scale as stated	

PLUMBING PLAN

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DRAINAGE PLAN

General Notes

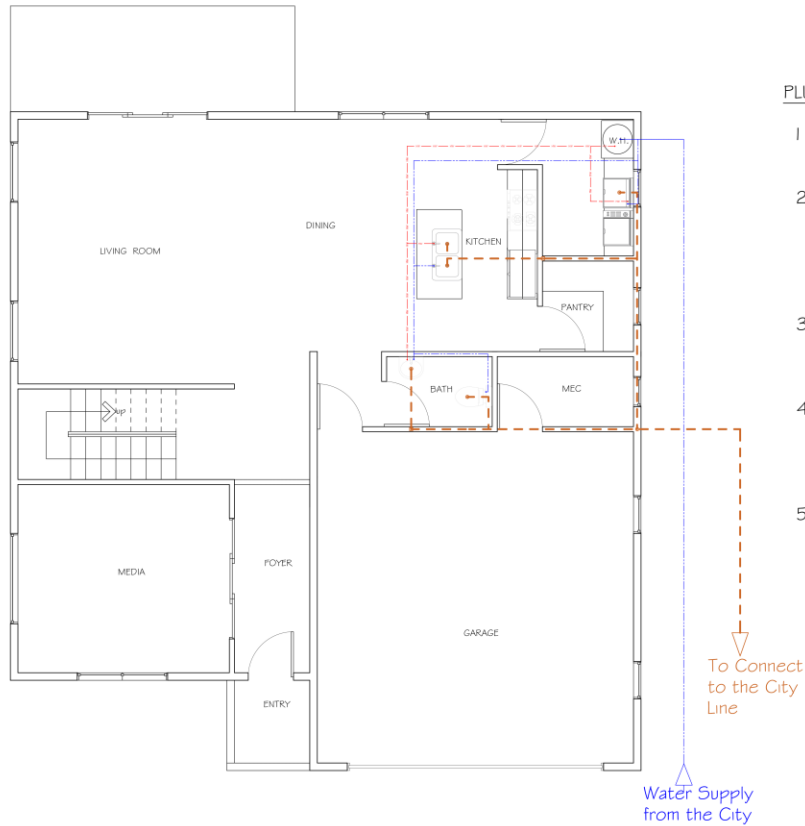
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Firm Name and Address

Project Name and Address

Portfolio

Project	as stated	Sheet
Date	01,2020	PL 0.0
Scale	as stated	



FIRST FLOOR PLAN PLUMBING PLAN
scale $\frac{1}{4}" = 1'-0"$

PLUMBING NOTES:

1. ALL PLUMBING SHALL BE DONE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL PLUMBING FIXTURES, DRAINS, VENTS AND WATER LINES ARE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MANUFACTURER INSTRUCTIONS AND BUILDING CODES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE ALL FIXTURES ARE VENTED AS REQUIRED BY MANUFACTURER, STATE AND LOCAL BUILDING CODES.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE SITE CONDITIONS PRIOR TO INSTALLATION OF WATER, DRAINAGE AND VENT LINE AND MAKE ADJUSTMENT AS NECESSARY.
5. CONTRACTOR TO VERIFY THE LOCATION OF WATER AND SEWAGE CONNECTION.

Cold Water

Hot Water

Drainage Line

General Notes

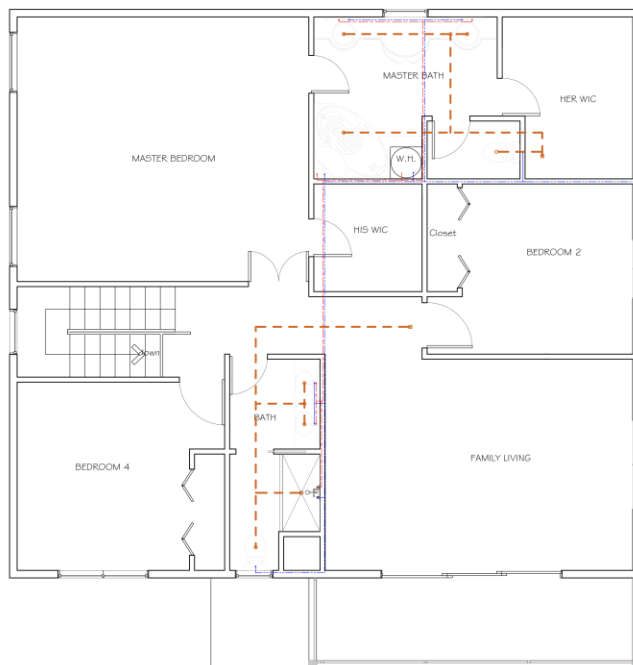
No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address

Portfolio

Project	as stated	Sheet	PL 1.1
Date	01,2020		
Scale	as stated		



SECOND FLOOR PLAN PLUMBING PLAN
scale $\frac{1}{4}" = 1'-0"$

PLUMBING NOTES:

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4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE SITE CONDITIONS PRIOR TO INSTALLATION OF WATER, DRAINAGE AND VENT LINE AND MAKE ADJUSTMENT AS NECESSARY.
5. CONTRACTOR TO VERIFY THE LOCATION OF WATER AND SEWAGE CONNECTION.

water supply
from lower floor

Cold Water

Hot Water

Drainage Line

General Notes

No.	Revision/Issue	Date

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Project	as stated	Sheet	PL 1.2
Date	01.2020		
Scale	as stated		