

# A CUSTOM RESIDENCE

## SCOPE OF WORK:

NEW CONSTRUCTION...  
CREATING A SINGLE FAMILY ( R-1)  
RESIDENTIAL DWELLING...

## AREA:

FIRST FLOOR - 1048 Sq. Ft.  
FRONT PORCH - 84 Sq. Ft.  
REAR DECK - 192 Sq. Ft.

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**CLIENT:**

**PROJECT : SINGLE FAMILY (R-1) RESIDENTIAL DWELLING**

**DESIGNER: mister.prodesign@gmail.com**

**DATE: AUGUST 18, 2020**

NOTES

COVER SHEET

Project Number 01

Date 08/20/2020

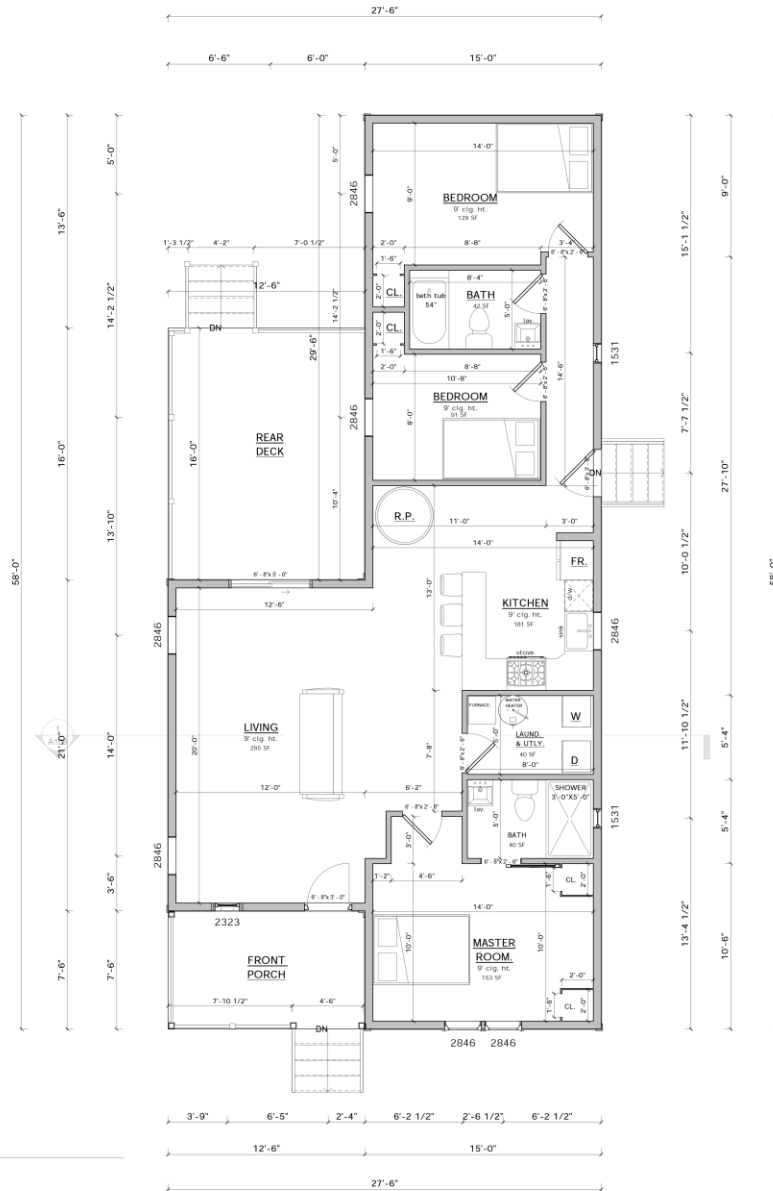
Drawn By

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A100

Scale 1/2" = 1'-0"

1 FIRST FLOOR  
1/4" = 1'-0"



CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

ALL EXTERNAL WALLS ARE 6",  
WHILE INTERNAL WALLS ARE 4".

DOOR & WINDOW SIZES ARE GIVEN IN  
INCHES IN WIDTH & HEIGHT RESPECTIVELY.

DOOR EXAMPLE: 6'-8" X 3'-0" IS 6'-8" TALL BY 3'-0" WIDE.  
WINDOW EXAMPLE: 2846 IS 2'-4" WIDE BY 3'-10" TALL.

CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, AND TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.

REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS AND WINDOWS.

ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.

CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.

## AREA SUMMARY

### HEATED AREA

FIRST FLOOR - 1048 Sq. Ft.

### UNHEATED AREA

FRONT PORCH - 84 Sq. Ft.

REAR DECK - 192 Sq. Ft.

NOTES

## FIRST FLOOR PLAN

Project Number 01

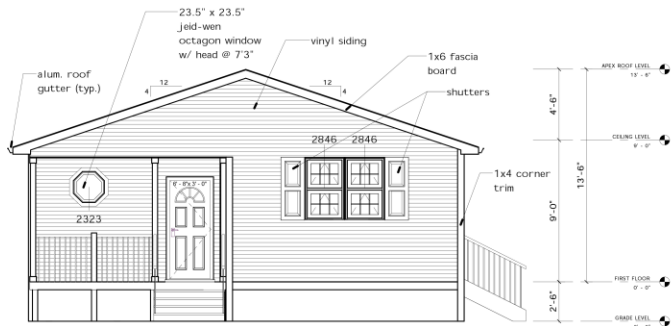
Date 08/20/2025

Drawn By

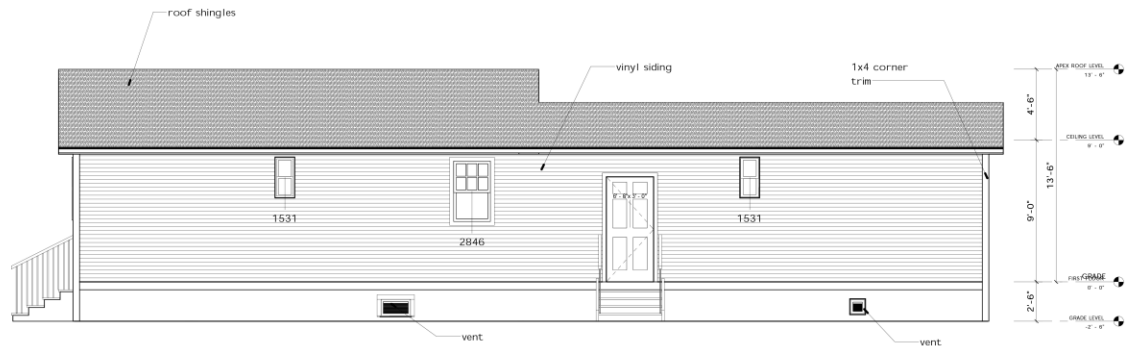
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A101

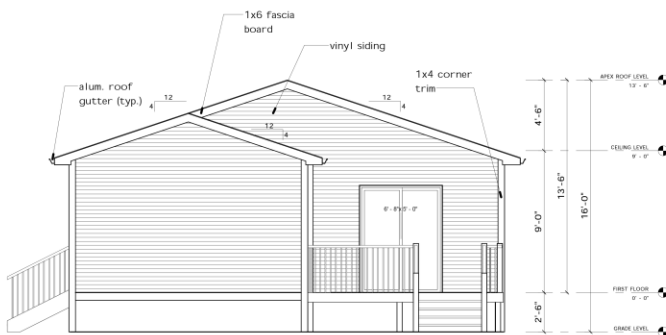
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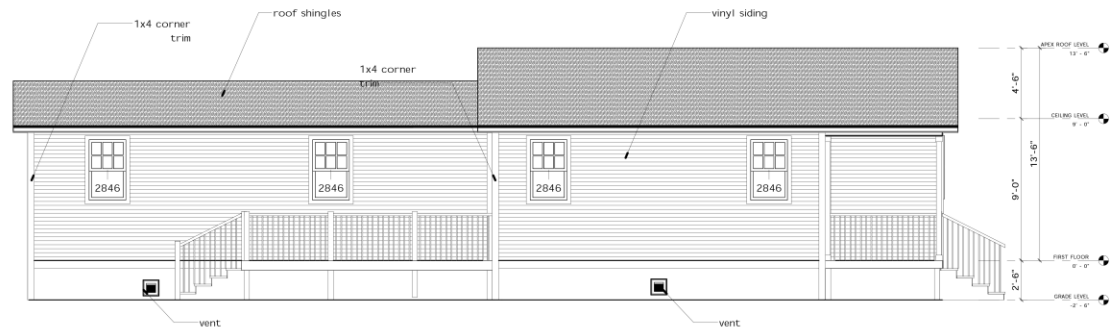
1 FRONT ELEVATION  
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"



4 LEFT SIDE ELEVATION  
1/4" = 1'-0"

NOTES

## ELEVATIONS

Project Number 01

Date 08/20/2020

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A102

Scale 1/4" = 1'-0"

## NOTES

**FLOOR JOIST SPANS FOR SOUTHERN PINE SPECIES**  
(RESIDENTIAL LIVING AREAS. LIVE LOAD = 40psf, L/ = 360)  
DEAD LOAD = 10psf

NOTES:  
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2003 edition, table R502.3.1(2).

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES  
(UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 10psf, L/  $\leq$  240)  
DEAD LOAD = 5psf

	SPACING	VISUALLY GRADED #1 SOUTHERN PINE
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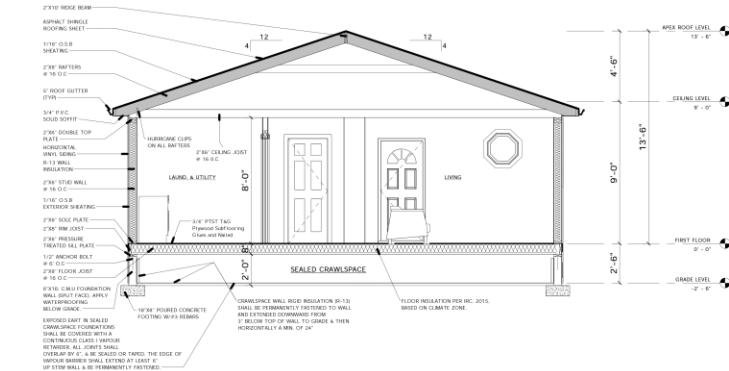
NOTES:  
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2003 edition, table R802.4(1).

RAFTER SPANS FOR SOUTHERN PINE SPECIES  
GROUND SNOW LOAD=30psf, CEILING ATTACHED TO RAFTERS, L/  $\Delta$ 240)  
DEAD LOAD = 10psf

NOTES:  
For additional species, grades, and notes, refer to the International Residential Code. The above tables are based on the 2003 edition, table R802.5.1(5).

Scale 1/4" = 1'-0"





1 CROSS SECTION  
1/4" = 1'-0"

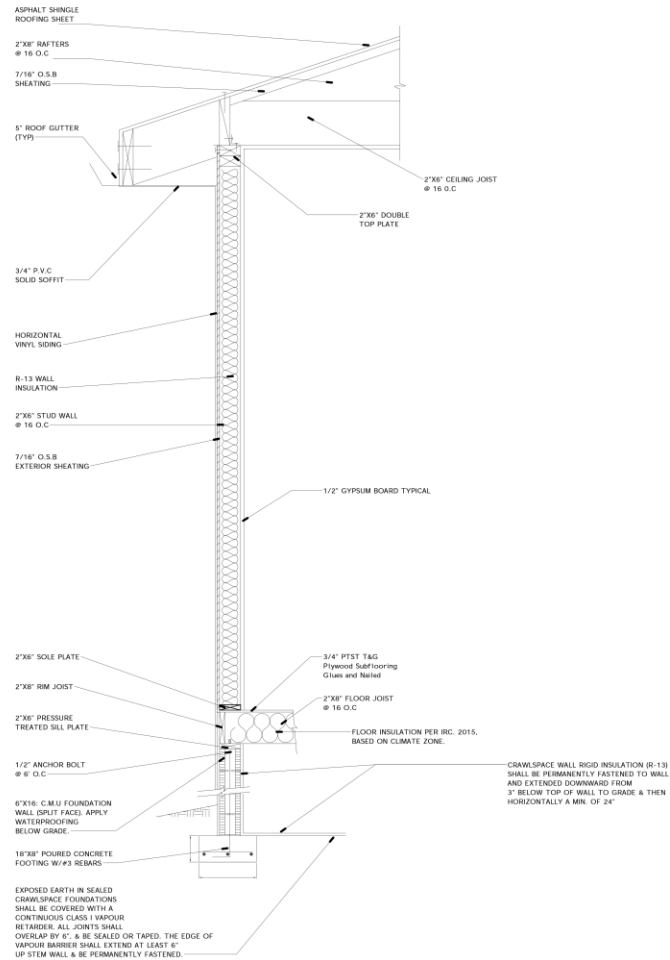
Door Schedule				
Mark	Count	Operation	Height	Width
1	1	SingleSwin gRight	6' - 8"	3' - 0"
2	5		6' - 8"	2' - 6"
3	1		6' - 8"	2' - 6"
4	1		6' - 8"	3' - 0"
5	1	SLIDING	6' - 8"	5' - 0"

-VERIFY/COORDINATE ALL DOOR SIZES WITH CHOSEN MANUFACTURER.  
-DIMENSIONS GIVEN ARE FOR ACTUAL DOOR LEAF DIMENSIONS, COORDINATE ROUGH OPENINGS  
-DOOR JAMBS SHALL BE 4" OFF ADJACENT WALL ON HINGE SIDE, U.N.O. 3" IS PERMITTED WITHIN RESIDENTIAL UNITS  
- CLOSET DOORS ARE CENTERED ON CLOSET WIDTH, U.N.O.  
-PROVIDE FLOOR STOPS ONLY WHERE IT WILL NOT PRESENT A TRIPPING HAZARD.  
USE APPROPRIATE DOOR STOP BASED ON FLOOR TYPE AND UNDERCUT.  
-COORDINATE ENTRY DOOR HARDWARE WITH SECURITY CONTRACTOR  
- SATIN CHROME FINISH

Window Schedule				
Mark	Count	Operation	Width	Height
1	1		1' - 11 1/2"	1' - 11 1/2"
2	2		2' - 4"	3' - 10"
3	5		2' - 4"	3' - 10"
4	2	DoublePanel Horizontal	1' - 3"	2' - 7"
5	1		2' - 0"	1' - 2"
6	1		1' - 0"	1' - 0"
7	1		1' - 0"	1' - 0"
9	1		1' - 0"	1' - 0"

WINDOW NOTES:  
\*VERIFY/COORDINATE ALL WINDOW SIZES WITH SELECTED MANUFACTURER.  
\*ROUGH OPENING SIZES AS PER MANUFACTURER SPECIFICATIONS.  
VERIFY/COORDINATE ALL ROUGH OPENINGS WITH WINDOW MANUFACTURER.  
\*ALL WINDOWS TO BE INSULATED LOW E; WINDOWS TO HAVE U-VALUE OF .35 OR BETTER  
\*OWNER TO VERIFY SIZE/TYPE/STYLE/COLOR OF ALL WINDOWS  
\*VERIFY ALL NEW WINDOW/DOOR ASSEMBLIES ARE TAPED/FLASHED/CAULKED  
@ ALL HEADS/SILLS/JAMBS PER MANUFACTURER SPECIFICATIONS (TYP.)  
\* ALIGN ALL WINDOW & DOOR HEADERS HORIZONTALLY PER FLOOR U.N.O.  
\* WINDOWS MULLED AS PER ELEVATION; MULLION THICKNESS MAY VARY PER MANUFACTURER  
\*COORDINATE WINDOW OPERATION WITH BUILDING ELEVATIONS

Room Schedule		
Name	Level	Area
BEDROOM 2	FIRST FLOOR	129 SF
BEDROOM 1	FIRST FLOOR	91 SF
BATH 2	FIRST FLOOR	42 SF
LAUND. & UTILITY	FIRST FLOOR	40 SF
MASTER ROOM	FIRST FLOOR	153 SF
KITCHEN	FIRST FLOOR	181 SF
BATH 1	FIRST FLOOR	40 SF
LIVING	FIRST FLOOR	295 SF



NOTES

## CROSS SECTION & WALL DETAIL

Project Number 01

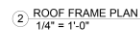
Date 08/20/2025

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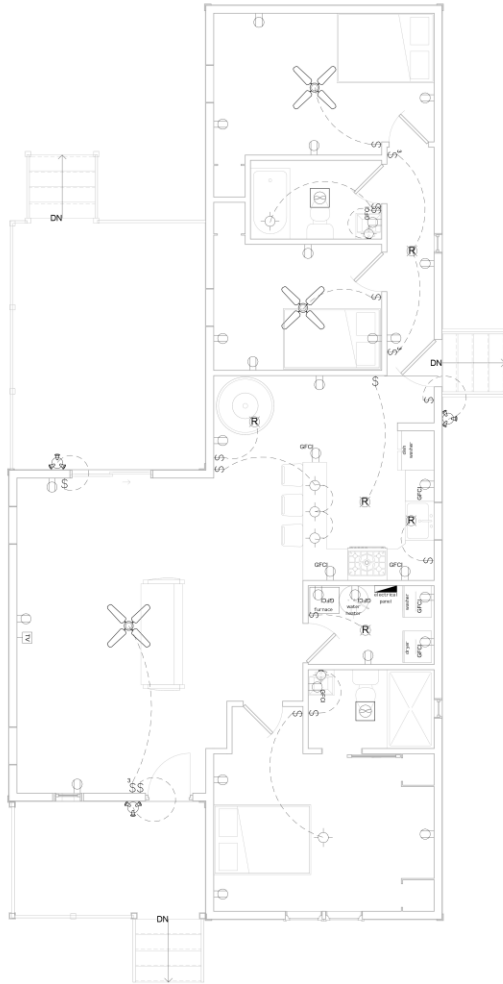
A106

Scale 1/4" = 1'-0"



- ## NOTES

Scale  $1/4" = 1'-0"$



### ELECTRICAL SYMBOLS LEGEND

	110 VOLT OUTLET
	GROUND FAULT PROTECTED OUTLET
	WEATHERPROOF OUTLET
	220 VOLT RECEPTACLE
	FLOOR OUTLET
	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	RECESSED CEILING FIXTURE (VERIFY LOCATIONS W/ OWNER)
	FLUORESCENT LIGHT
	SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	PILOT SWITCH
	TELEPHONE OUTLET (VERIFY LOCATIONS W/ OWNER)
	TELEVISION OUTLET (VERIFY LOCATIONS W/ OWNER)
	WALL MOUNTED LIGHT FIXTURE
	DOORBELL BUTTON
	THERMOSTAT (VERIFY LOCATIONS)
	CEILING EXHAUST FAN
	CEILING FAN W/ LIGHT
	CEILING EXHAUST FAN W/ LIGHT
	WALL SCONCE

ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS.

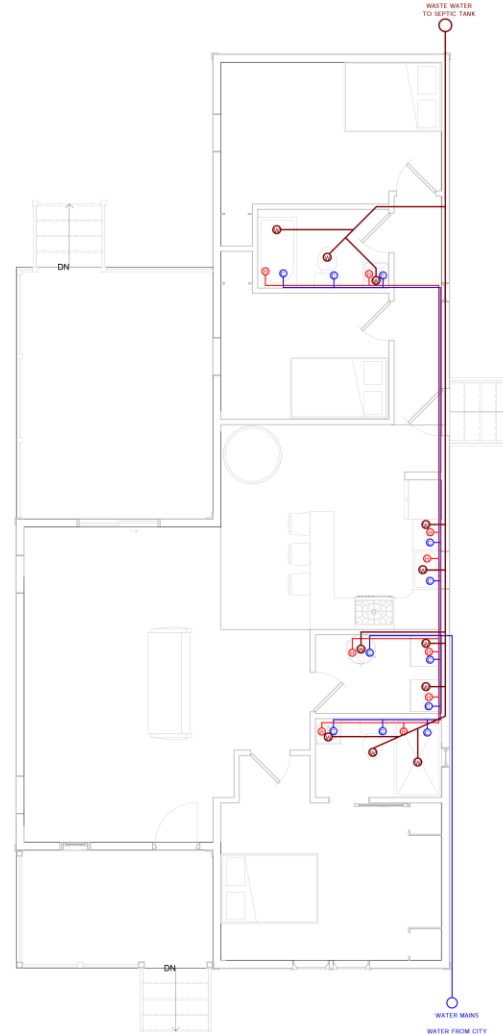
SMALLEST WIRE SIZE TO BE 12-2.

ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES AT THE SITE.

ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.

CONTRACTOR TO LOCATE PHONE, CABLE, ETC. AS PER OWNER'S SPECIFICATIONS.

② FIRST FLOOR ELECTRICAL  
1/4" = 1'-0"



LEGEND	
COLD WATER LINE	
HOT WATER LINE	
WASTE WATER LINE	
COLD WATER ACCESS	
HOT WATER ACCESS	
WASTE WATER ACCESS	

① FIRST FLOOR PLUMBING  
1/4" = 1'-0"

NOTES

### ELECTRICAL & PLUMBING PLAN

Project Number 01

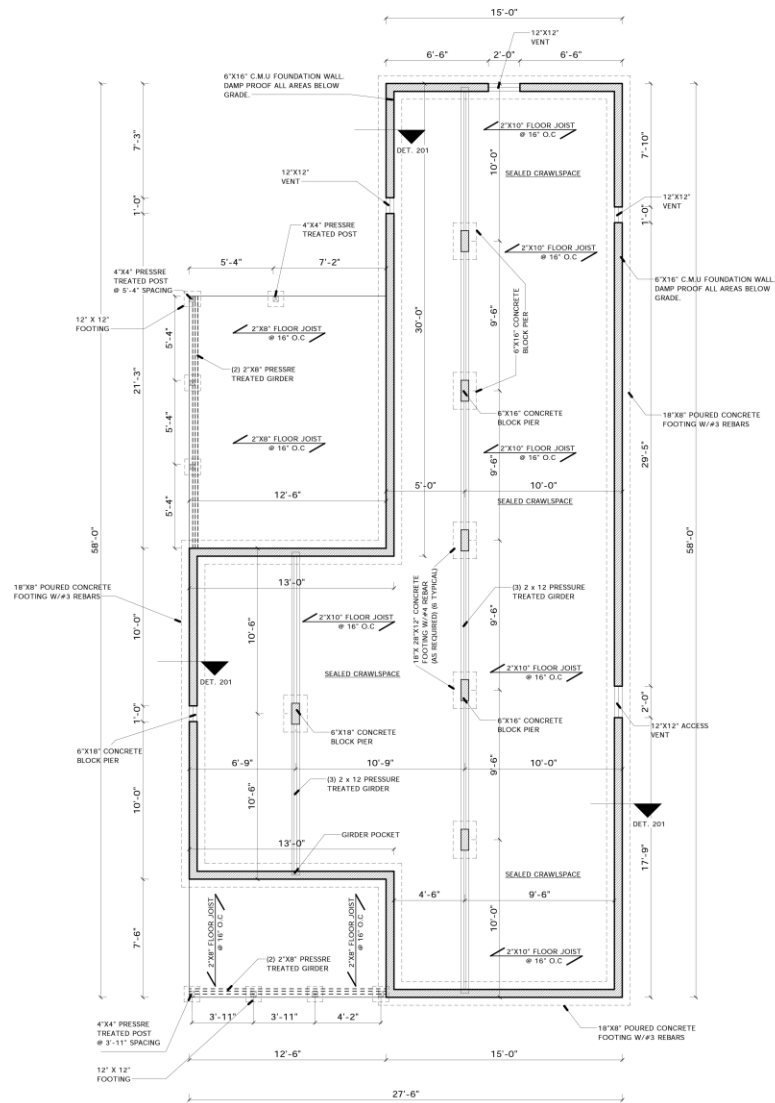
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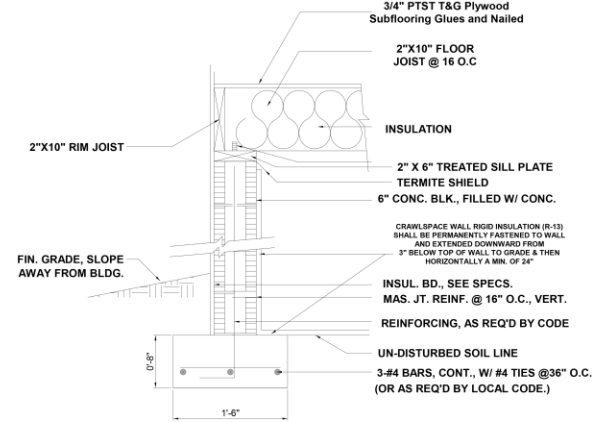
Scale 1/4" = 1'-0"



1 FOUNDATION PLAN  
1/4" = 1'-0"

## FOUNDATION NOTES:

1. OWNER SHALL HAVE ALL FOOTING SIZES VERIFIED BY A LICENSED STRUCTURAL ENGINEER, BASED ON SOILS ANALYSIS AT SITE, PRIOR TO CONSTRUCTION.
2. FOUNDATION SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS WITH FOUNDATION PLAN AND MAKE NECESSARY ADJUSTMENTS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER DRAINAGE AT SITE.
6. GLUE ALL STUR-DI-FLOOR PLYWOOD TO FLOOR FRAMING AND NAIL SECURELY W/ RING-SHANK NAILS.
7. ALL FOUNDATION DETAILS ARE TYPICAL. SOME VARIATIONS MAY OCCUR. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS AT SITE.
8. ALL CONCRETE SLABS TO BE 4" THICK (3000 psi MIN.), REINFORCED W/ 6"x6" - 10/10 W.M.
9. PROVIDE DOUBLE JOISTS UNDER ALL WALLS RUNNING PARALLEL TO FLOOR JOISTS.



## DET. 201

NOTES

## FOUNDATION PLAN

Project Number 01

Date 08/20/2025

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A111

Scale 1/4" = 1'-0"